

# Ground Floor Plan

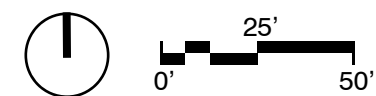
- RESIDENTIAL
- RETAIL
- RESTAURANT
- LOADING, BACK OF HOUSE



## River Point - 2100 2nd St, SW

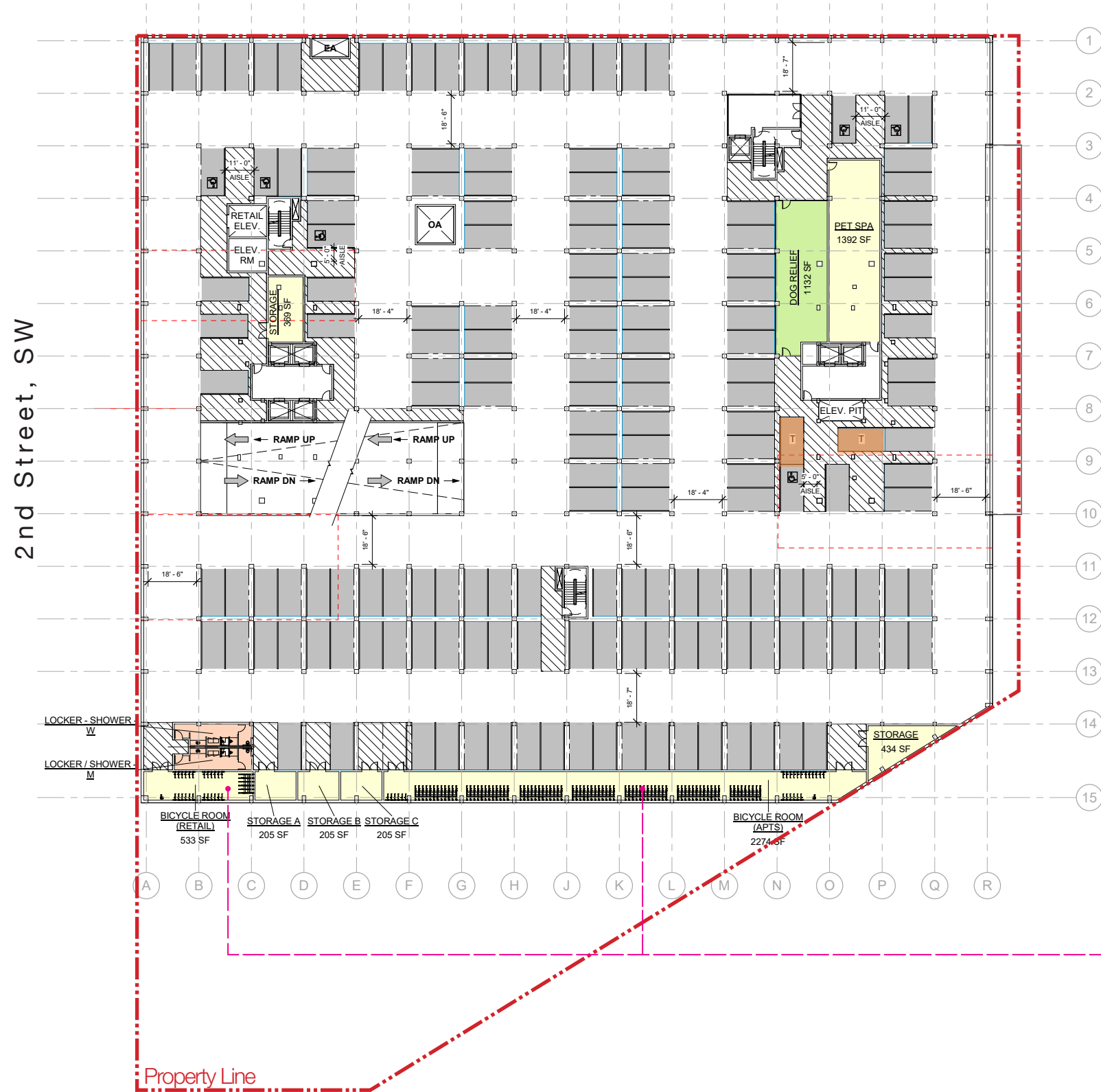
Square 613 / Lot 10

## Plan - Ground Floor



V Street, SW

# Parking - Level P1



**TANDEM** PARKING SPACE  
 (DON'T COUNT TOWARDS MINIMUM REQUIRED BY ZONING)

**STANDARD** PARKING SPACE:  
 9 FT WIDE X 18 FT DEEP  
 (COUNT TOWARDS MINIMUM REQUIRED BY ZONING)

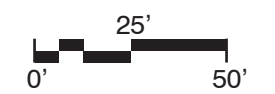
1st Street, SW



**FIX-IT STATION**  
 LOCATED WITHIN BIKE  
 STORAGE ROOM



**STACKED  
 BIKE RACK  
 BY DERO**



# River Point - 2100 2nd St, SW

Square 613 / Lot 10

## Plan - Parking P1

June 23, 2017



A20

V Street, SW

# Roof Plan (roof of penthouse)



EXTENSIVE GREEN ROOF SYSTEM



COMBINED SYSTEM OF SOLAR PANELS OVER EXTENSIVE GREEN ROOF; ESTIMATED 8,000 SF OF SOLAR PANELS SETBACK AT 1:1 RATIO



# River Point - 2100 2nd St, SW

Square 613 / Lot 10

## Roof of Penthouse

June 23, 2017



A26

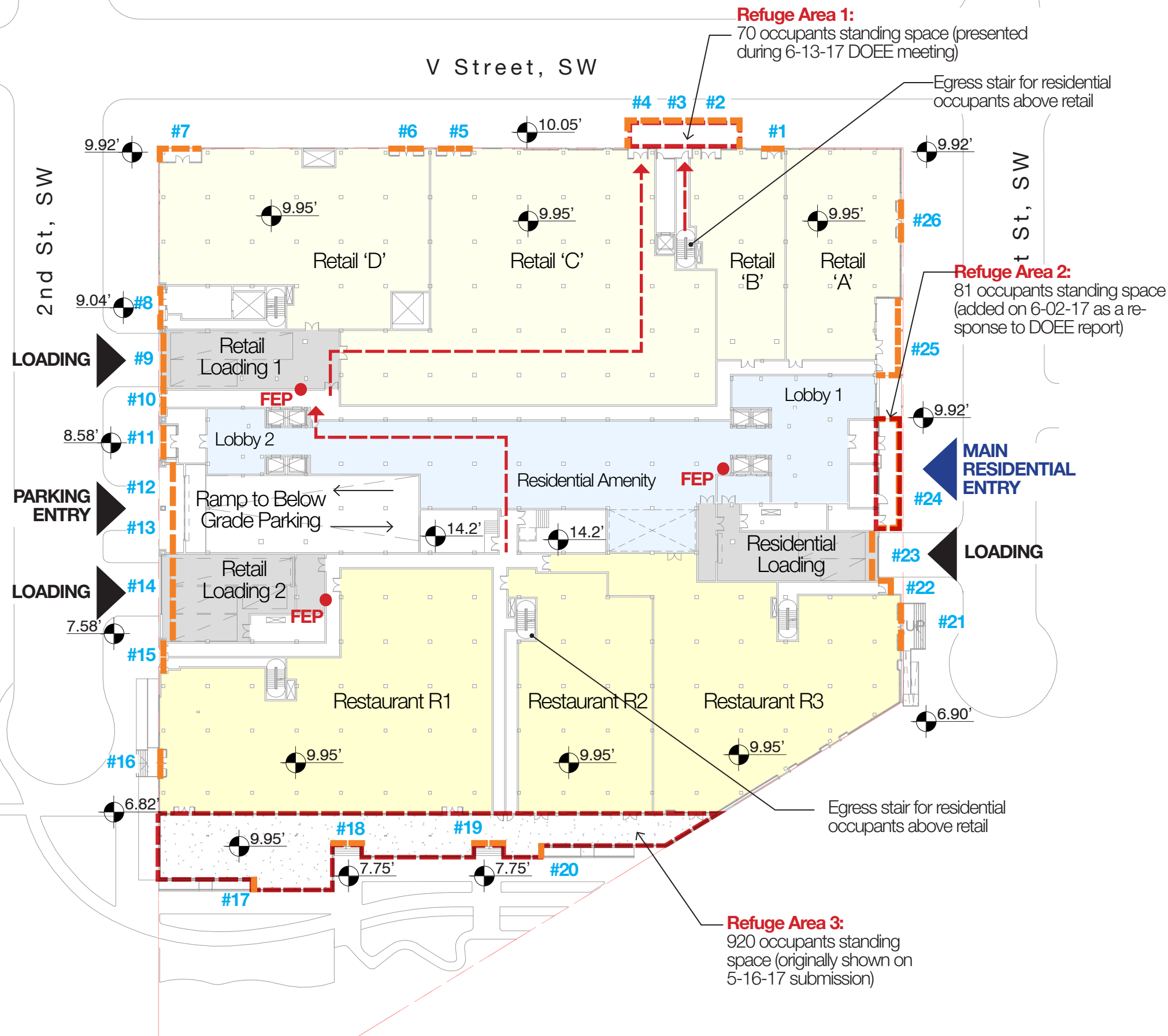
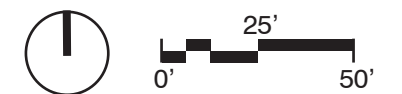
# FLOOD EVENT EMERGENCY EGRESS PLAN

## GENERAL NOTES:

1. The flood emergency plan (FEP) shall be posted permanently in at least two conspicuous locations within the structure. Proposed locations shown on plan are conceptual and will be finalized during permitting.
2. Provisions will be made for the evacuation of all occupants before the building is isolated by flood waters.
3. Proposed Refuge Areas during a flood event have been designated for occupants who do not evacuate prior to the onset of flooding.
4. This is not a critical facility such as a hospital or a police station. Sheltering in place is not allowed. Closest evacuation shelter is Jefferson Middle School located at 801 7th Street SW per HSEMA shelter & evacuation guide for Ward 6.
5. IBC 2012, Table 1004.1.2 'Maximum floor area allowances per occupant' has been used to calculate standing space load (5 sf net per person).

- #24 ITEM NUMBER OF FLOOD SHIELD AT AN ENTRY POINT TO THE BUILDING
- LOCATION OF REMOVABLE FLOOD SHIELDS
- ESCAPE PATH TO REFUGE AREA DURING A FLOOD EVENT
- REFUGE AREA FOR OCCUPANTS WHO DID NOT EVACUATE PRIOR TO THE ONSET OF FLOODING
- FEP ● LOCATION OF A POSTED FLOOD EMERGENCY PLAN (FEP)
- RESIDENTIAL
- RETAIL
- RESTAURANT
- LOADING, BACK OF HOUSE

**NOTE:** SPOT ELEVATIONS SHOWN ARE SCHEMATIC



# River Point - 2100 2nd St, SW

Square 613 / Lot 10

# Flood Protection - Egress Plan




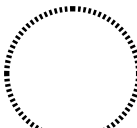

June 23, 2017



F10

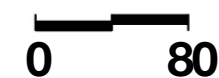


Legend

-  proposed building footprint
-  property line
-  existing tree - to be relocated (6)
-  existing tree - to be removed (22)
-  existing tree - outside R.O.W.



Existing Crepe Myrtle trees to be relocated to third floor courtyards

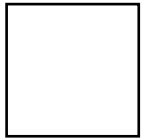






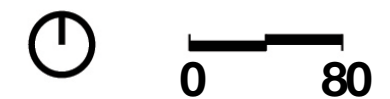
# River Point - 2100 2nd St, SW

Square 613 / Lot 10



Legend

-  proposed building footprint
-  property line
-  pedestrian entrance
-  truck loading
-  vehicular entrance



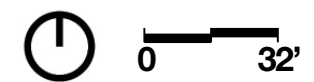
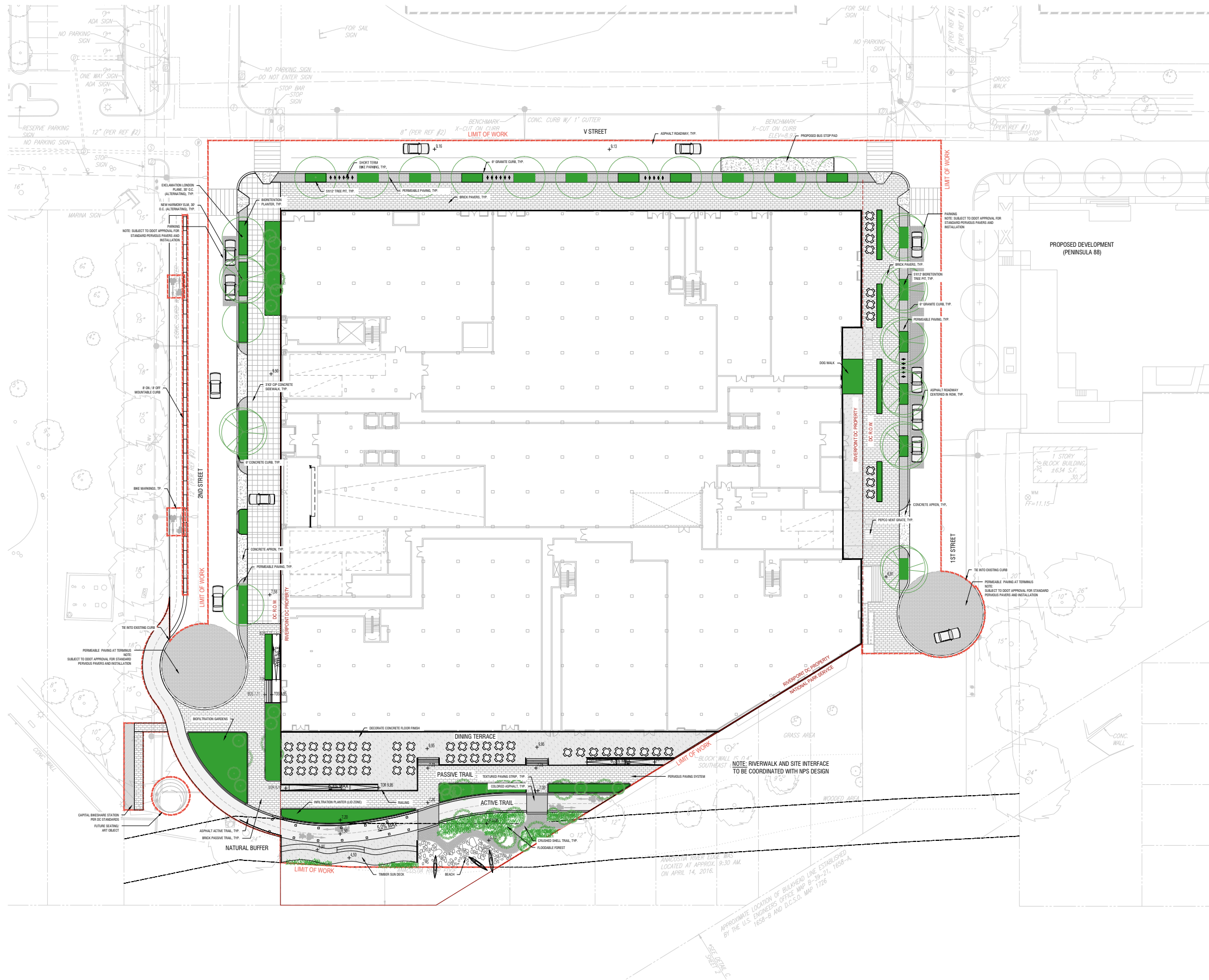
# River Point - 2100 2nd St, SW

Square 613 / Lot 10

Proposed Entry/Access **WEST 8**

June 22, 2017

**L8**



# River Point - 2100 2nd St, SW

Square 613 / Lot 10

## Site Plan WEST 8

June 22, 2017

L12